

MIDLAND COMMONS

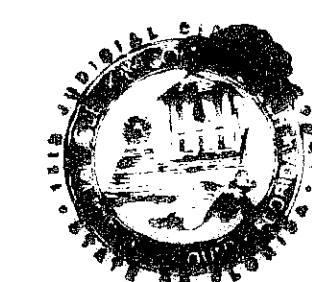
A MULTIPLE USE PLANNED DEVELOPMENT (MUPD) BEING A REPLAT OF A PORTION OF TRACTS 9 AND 10 SECTION 36, TOWNSHIP 44 SOUTH, RANGE 42 EAST, RECORDED IN PLAT BOOK 3, PAGE 10, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA situate in Section 36, Township 44 South, Range 42 East Palm Beach County, Florida.

Sheet 1 of 2

STATE OF FLORIDA
COUNTY OF PALM BEACH

This plat was filed for record at 1:58 P.M. this 7th day of October, 2008, and duly recorded in Plat Book No. 111 on Pages 160 through 161.

SHARON R. BOCK
Clerk and Comptroller
By: Michelle [Signature]



DEDICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

KNOW ALL MEN BY THESE PRESENTS, that MIDLAND COMMONS, INC., a Florida corporation, licensed to do business in the State of Florida, the owners of the land shown hereon as MIDLAND COMMONS, situate in Section 36, Township 44 South, Range 42 East, Palm Beach County, Florida, more particularly described as follows:

The north 260 feet of TRACTS 9 and 10 of the southwest quarter of SECTION 36, TOWNSHIP 44 SOUTH, RANGE 42 EAST, according to the map or plat thereof as recorded in Plat Book 3, Page 10, Public Records of Palm Beach County, Florida, LESS that portion along the east boundary acquired for the widening of Military Trail as recorded in Official Record Book 5929, Page 1073, Public Records of Palm Beach County, Florida.

The above described parcel of land contains 5.62 acres of land, more or less.

Have caused the same to be surveyed and platted as shown hereon and do hereby dedicate as follows:

1. Tract 1, as shown hereon is hereby reserved by Midland Commons, Inc., a Florida corporation, its successors and assigns, for the purposes consistent with the zoning regulations of Palm Beach County, Florida, and is the perpetual maintenance obligation of said owner, its successors and assigns, without recourse to Palm Beach County, Florida.
2. The Utility Easement as shown hereon, is hereby dedicated in perpetuity for the construction and maintenance of utility facilities, including cable television systems. The installation of cable television systems shall not interfere with the construction and maintenance of other utilities.
3. The Mass transit Easement as shown hereon is hereby dedicated in perpetuity to the Board of County Commissioners of Palm Beach County, its successors and assigns, for the construction, maintenance and use of a public transit boarding and a lighting area, which use includes but is not limited to a public transit bus shelter, transfer station, and advertising. The maintenance obligation for the easement area shall be with MIDLAND COMMONS, INC., its successors and assigns, until such time the County its successors and or assigns commences construction or installation of facilities associated with utilization of the easement for its intended purpose, at which time maintenance of the easement area shall become the obligation of the County, its successors and assigns. The maintenance obligation shall automatically revert to MIDLAND COMMONS, INC. upon the County's temporary or permanent cessation of use of the easement. The easement granted herein shall be non-exclusive and subordinate to any utility Easement dedicated to the Public.
4. The Drainage Easement as shown hereon is hereby dedicated in perpetuity for drainage purposes. The maintenance of all drainage facilities located therein shall be the perpetual maintenance obligation of MIDLAND COMMONS, INC., its successors and assigns, without recourse to Palm Beach County.
5. The Limited Access Easement as shown hereon, is hereby dedicated to the Board of County Commissioners of Palm Beach County, Florida, for the purpose of control and jurisdiction over access rights.

In witness whereof, the above named Florida Corporation has caused these presents to be signed, and their corporate seal to be affixed hereto by and with the authority of their President, this 2 day of Sept, 2008.

MIDLAND COMMONS, a Florida Corporation
"SAC."

BY: [Signature]
Harry Rauch, President

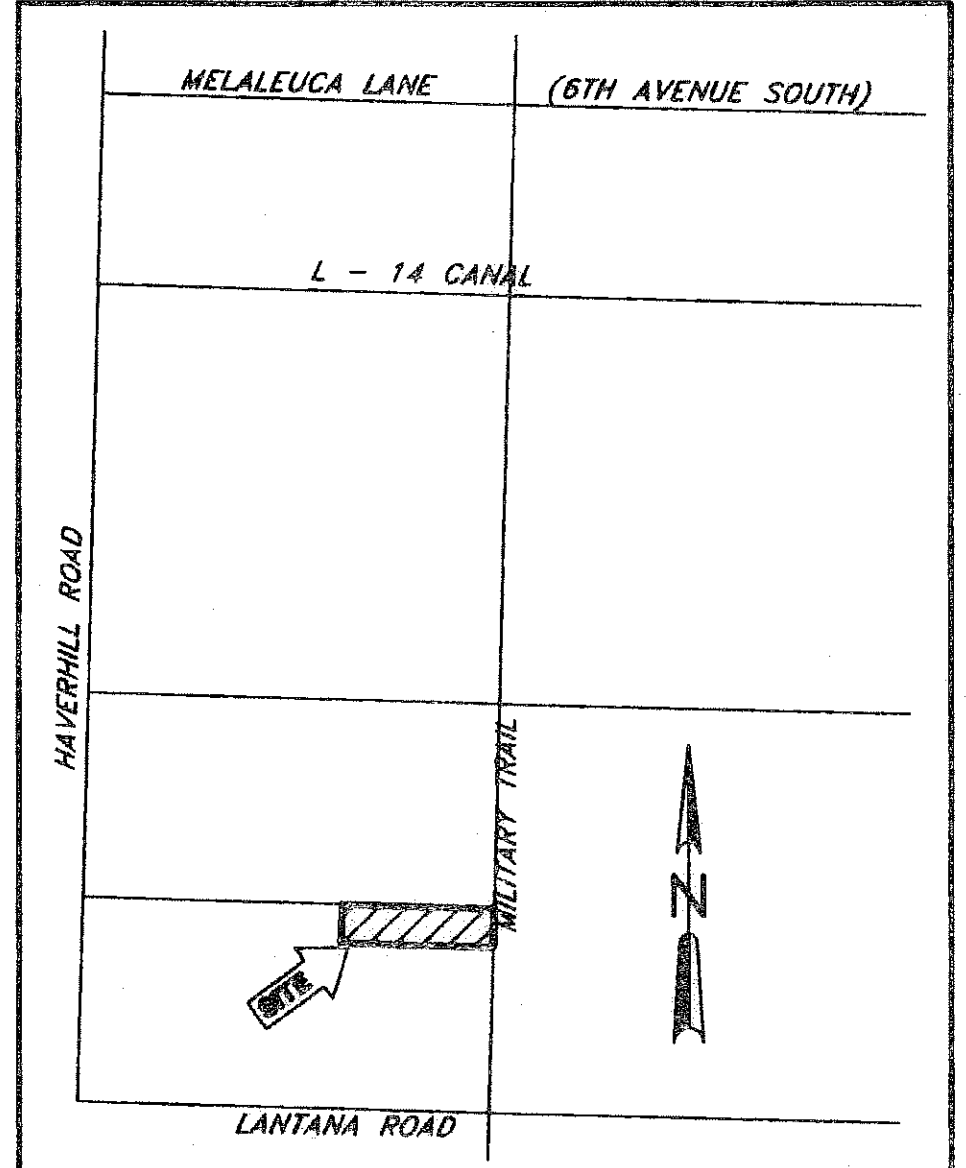
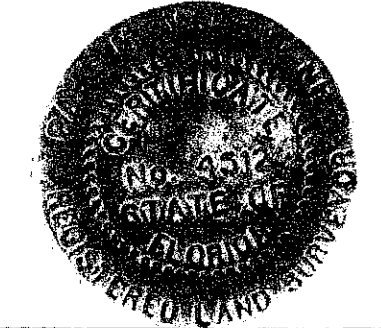
WITNESS [Signature]
PRINTED NAME: Louise M. Lefkowitz

WITNESS [Signature]
PRINTED NAME: Andi [Signature]

"SEAL"
MIDLAND COMMONS, INC.

"SEAL"
PROFESSIONAL LAND SURVEYOR

"SEAL"
PALM BEACH COUNTY ENGINEER



VICINITY MAP
NOT TO SCALE

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME personally appeared Harry Rauch who is personally known to me, and who executed the foregoing instrument as President of MIDLAND COMMONS, INC., a Florida Corporation, and severally acknowledged to and before me that he executed such instrument as such officer of said corporation, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that it was affixed to the foregoing instrument is the corporate seal of said corporation and that it was affixed to said instrument by due and regular corporate authority, and that said instrument is the free act and deed of said corporation.

Witness my hand and official seal, this 2nd day of September, 2008.

[Signature]
Notary Public

Conn. Ross Sr. Assoc # DD 498950
Printed Name

My commission expires: 11/1/10

"SEAL"
NOTARY PUBLIC

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

I, Alan I. Armour, II, an Attorney, duly licensed to practice law in the state of Florida, do hereby certify that I have examined the title to the hereon described property, that I find the title to the property is vested to MIDLAND COMMONS, INC., a Florida Corporation, that the current taxes have been paid, that there are no mortgages of record, and that there are no encumbrances of record.

NASON, YEAGER, GERSON, WHITE & LIOCE, P.A.

[Signature]
By: Attorney: ALAN I. ARMOUR II

Dated: 9/2/08

SURVEYOR'S NOTES:

- Denotes Permanent Reference Monument LB (Licensed Business) # 4574, P.L.S. #4512
- 1. The bearings shown hereon, are referenced to the west right-of-way line of Military Trail having a direction of N01°47'37"E. This line is 67 feet west of and parallel to the north-south quarter section line of Section 36, Township 44 South, Range 42 East, and is referenced to the Palm Beach County Sectional Data for said section. The State Plane grid bearing of said north-south quarter section line is also N01°47'37"E.
- 2. Building Setback Lines shall be as approved Palm Beach County, Florida.
- 3. In those cases where easements of different types cross or otherwise coincide, drainage easements shall have first priority, utility easements shall have second priority, access easements shall have third priority, and all other easements shall be subordinate to these with their priorities determined by use rights granted.
- 4. Easements are for Public Utilities unless otherwise noted. No buildings or any kind of construction or trees or shrubs shall be placed on any easement without prior written approval of all easement beneficiaries and all applicable County approvals or permits as required for such encroachments.
- 5. All recording information shown hereon is of the Public Records of Palm Beach County.
- 6. The property is subject to the STANDARD POTABLE WATER AND WASTEWATER DEVELOPMENT AGREEMENT filed for record in Official Record Book 19726, Pages 406 through 414, of the Public Records of Palm Beach County, Florida, on December 29, 2005.
- 7. The property is subject to the Cross-Access Easement described and set forth in the CORRECTIVE DECLARATION OF CROSS-ACCESS EASEMENT, filed for record in Official Records Book 22788, Pages 673, of the Public Records of Palm Beach County, Florida, on August 1, 2008.
- 8. Notice: This plat as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of plat. There may be additional restrictions that are not recorded on this plat that may also be found in the Public Records of this county.

Coordinates shown are grid and meet or exceed the local accuracy requirements of a 2cm Geodetic Control Survey as determined by a GPS survey of the Platted monuments.
Datum = NAD83, 1990 adjustment as readjusted by Palm Beach County Survey Department (1998)
Zone = Florida East
Linear Foot = U.S. Foot
Coordinate System = 1983 State Plane Mercator Projection
Scale Factor = 1.0000371
Ground Distance x Scale Factor = Grid Distance

THIS INSTRUMENT WAS PREPARED UNDER THE RESPONSIBLE DIRECTION OF PAUL M. VALENTINE, P.L.S., IN THE OFFICES OF PETSCH & ASSOCIATES, INC., 2581 METROCENTRE BOULEVARD, SUITE 6, WEST PALM BEACH, FLORIDA, 33407.

SURVEYOR'S CERTIFICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

I hereby certify that the plat shown hereon is a true and correct representation of a survey made under my responsible direction and supervision; that said survey complies with chapter 61C17-6 of the Florida Administrative Code, and is accurate to the best of my knowledge and belief; that permanent reference monuments (P.R.M.s) have been set, as required by law; that the survey data complies with all the requirements of chapter 177 of the Florida Statutes, as amended, and Ordinances of Palm Beach County, Florida.

This 2nd day of SEPTEMBER, 2008.

PETSCH & ASSOCIATES, INC.
Licensed Business Number 4574

[Signature]
Paul M. Valentine
Professional Land Surveyor
Florida certificate No. 4512

COUNTY ENGINEER

This Plat is hereby approved for record pursuant to Palm Beach County Ordinance 95-33, and in accordance with section 177.071(2), F.S., this 1st day of October, 2008, and has been reviewed by a Professional Surveyor and Mapper employed by Palm Beach County in accordance with section 177.081(1), F.S.

[Signature]
GEORGE T. WEBB, P.E.
COUNTY ENGINEER

M.U.P.D. TABULAR DATA:
PALM BEACH COUNTY PETITION NUMBER 2005-346
PALM BEACH COUNTY PROJECT NUMBER 05161-000
TOTAL AREA 5.62 ACRES
NUMBER OF UNITS 1 UNIT

PETSCH & ASSOCIATES, INC.
Professional Engineers - Land Surveyors - Development Consultants - Testing Services
2581 Metrocentre Boulevard, Suite 6, West Palm Beach, Florida 33407 (561) 640-3800
2600 Eldorado Parkway, Suite 240, McKinney, Texas 75070 (972) 562-9606

MIDLAND COMMONS
A REPLAT OF PORTIONS OF TRACTS 9 & 10
SECTION 36, TOWNSHIP 44 S., RANGE 42 E.
PALM BEACH COUNTY, FLORIDA

Drawn by: P.M.V.	Date: 8-15-2008	SCALE: NONE	JOB NUMBER: 04-007-RP	SHEET OF: 1 2
Designed by: P.M.V.	Checked by: C.A.Z.		04-007	